

Appendix 2 Parameter Plans

Replacement to those provided at Appendix C2 of the ES (March 2021)



- Notes:**
 Do not scale from this drawing.
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- Key**
- Redline boundary
 - ▨ Application detailed zone. Information on highways and associated works being sought as part of the detailed component in this zone are shown for illustrative purposes only (the proposed detail refer to WSP drawings as indicated in MOD-Design-Rev 2)
 - ▨ Residential use (C2, C3) including homes for the elderly, Secondary and Tertiary Streets, footways/cycleways, incidental open space, drainage features, and children's play areas
 - ▨ Zone within which all new habitable room windows are 4.4m or more from existing habitable room windows at Pynes Stables
 - ▨ Mixed use Community Hub including residential (C3), commercial, businesses and services (E, F1), Health Hub (E), community hall (F2) and transport interchange
 - ▨ Zone within which local centre (C2, C3, E) is located
 - ▨ Employment (E, B2, B8), or residential (C2, C3) including homes for the elderly, Secondary and Tertiary Streets, footways/cycleways, incidental open space, drainage features, and children's play areas
 - ▨ No residential development within this zone, subject to detailed acoustic testing
 - ▨ Employment use (E, B2, B8) (potential location for primary sub-station)
 - ▨ Location of existing furniture warehouse outside of site boundary (access retained from internal estate road)
 - ▨ Existing pumping station, to be retained or relocated (247 access retained from estate road)
 - ▨ Zone for location of potential primary sub-station or alternatively, potential primary sub-station located within employment use zone
 - ▨ Primary school and playing fields (F1)
 - ▨ Secondary school and playing fields (F1)
 - ▨ Formal sports pitches and associated parking (F2)
 - ▨ Zone within which community sports pavilion (F2) is located
 - ▨ Zone within which community building/visitor centre (F2) is located
 - ▨ Open space including wetlands, drainage features, footpaths/cycleways, vegetation/planted areas, play areas, retained trees and hedgerows, burial grounds, community woodlands, orchards and allotments, community gardens, and some elements of Primary, Secondary and Tertiary Streets
 - ▨ Open space with retained archaeology in-situ or residential (C2, C3), or sports provision (F2), subject to detailed archaeological investigation
 - ▨ Route sub-allocated for possible Mass Rapid Transit (MRT) scheme (with +/- 30m limit of deviation from centre line along route shown)
 - ▨ Primary Street corridor (with +/- 30m limit of deviation from centre line along route shown)
 - ▨ Road corridor (refer to the Movement and Access Parameter Plan for detailed information)
- Note:** The redline and associated area shown in this drawing are based on guidance provided for others. JTP accept no responsibility or liability for reliance placed on, or use made of, this plan by anyone for purposes other than planning.
Note: All features and areas are subject to a lateral tolerance of +/- 10m unless stated otherwise.
Note: Access arrangements into the site will need to accord with the approved detailed element drawings.

P2	10.09.21	updated following changes to highways	LB	GP
P1	31.03.21	first issue	LB	GP
Rev	Date	Description	Drawn	Chkd

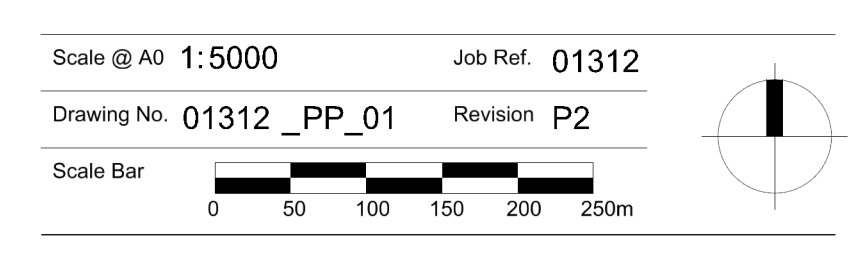
Drawing Status
PLANNING

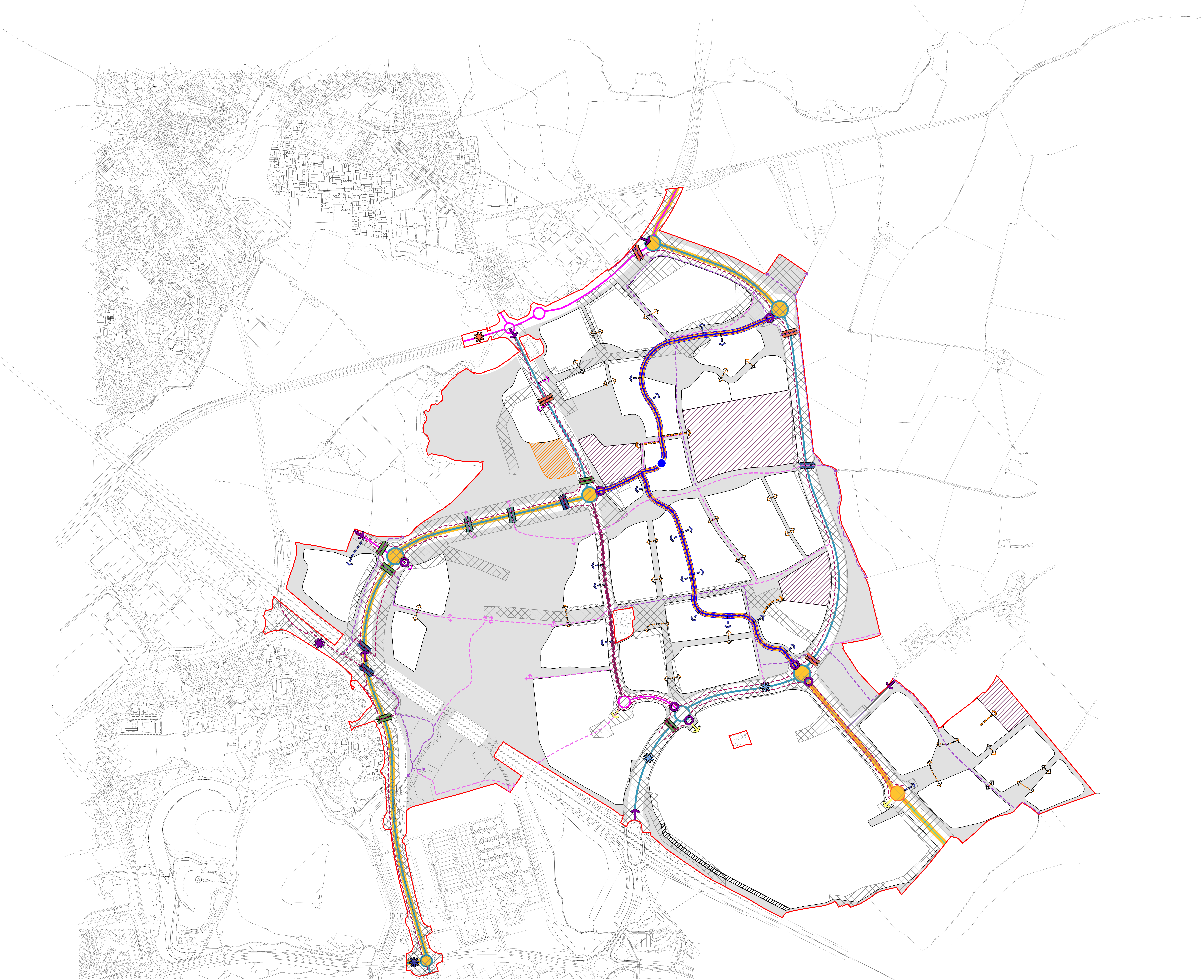
Client
St James



Project
Milton Keynes East

Drawing Title
Land Use Parameter Plan





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- Red line: Redline boundary
 - Yellow line: Application detailed zone. Information on highways and associated works being sought as part of the detailed component in this zone are shown for illustrative purposes only (see proposed detail refer to WSP drawings as scheduled in MPE-DETAILED-PPG-REV 2)
 - Blue line: Development area
 - Green line: School and playing fields (F1)
 - Grey area: Open space
 - Orange area: Open space with retained archaeology in-situ or residential (C2.C3), or sports provision (F2), subject to detailed archaeological investigation
 - Blue circle: Transport interchange to be located within the Community Hub
 - Yellow line: Route safeguarded for possible Mass Rapid Transit (MRT) scheme (with +/- 20m limit of deviation from centre line along route shown)
 - Blue line: Primary Street corridor (with +/- 30m limit of deviation from centre line along route shown)
 - Green line: Grid Road corridor
 - Red line: Highway corridor safeguarded for Grid Road status
 - Light blue line: Highway corridor safeguarded for future Cranfield bypass (with +/- 20m limit of deviation from centre line along route shown)
 - Purple line: Road corridor
 - Pink line: Downgraded ADOJ road corridor (with +/- 20m limit of deviation from centre line along route shown)
 - Black line: Existing alignment of Newport Road
 - Purple line: Connection to Newport Road
 - Blue arrow: Vehicular access to parcel from Grid Road
 - Black arrow: Vehicular access to parcel from other roads (with +/- 100m limit of deviation from centre line along route shown)
 - Green arrow: Vehicular link across green corridor (with +/- 100m limit of deviation from centre line along route shown)
 - Blue arrow: Main vehicular, pedestrian/cycle site access points
 - Black arrow: Main vehicular, pedestrian/cycle site access points to employment area
 - Black arrow: Main vehicular access points to schools (with +/- 100m limit of deviation from centre line along route shown)
 - Purple arrow: Public routes (retained and/or diverted routes including bridleways, public footpaths and pedestrian and cycle links) (with +/- 35m limit of deviation from centre line along route shown)
 - Pink arrow: New public routes (arrows denote key access points) (including bridleways, public footpaths and pedestrian and cycle links) (with +/- 50m limit of deviation from centre line along route shown)
 - Purple line: Route of proposed footways (with +/- 30m limit of deviation from centre line along route shown)
 - Green line: Location of new subway crossing
 - Black line: Location of new footcycle crossing (with +/- 100m limit of deviation from centre line along route shown)
 - Black line: Location of new at grade crossing (with +/- 50m limit of deviation from centre line along route shown)
 - Black line: Location of new road relief culvert (to also function as a pedestrian/cycle connection)
 - Black line: Grade separated crossing integrated with bridge structure
 - Black line: Potential location of grade separated crossing of ADOJ / A422
 - Black star: Roundabout junction to be upgraded
 - Black star: Safeguarded zone for potential future M1 footbridge landing, 15m wide corridor to be identified (building footprints to be located outside of this zone)
 - Black star: Location of potential new subway crossing (with limit of deviation from location shown to between the roundabouts on respective link lengths)
 - Black star: V11 to be retained as a two way road
- Note:** The redline and associated area shown in this drawing are based on guidance provided by others. JTP accept no responsibility or liability for reliance placed on, or use made of, this plan by anyone for purposes other than planning.
Note: All features and areas are subject to a lateral tolerance of +/- 50m unless stated otherwise.
Note: Access arrangements into the site will need to accord with the approved detailed drawings.
Note: The site will be served by Demand Responsive Transport (DRT) with services providing pick up and drop off on non-fixed routes.

P2	10.09.21	updated following changes to highways	LB	GP
P1	31.03.21	first issue	LB	GP

Rev	Date	Description	Drawn	Chkd
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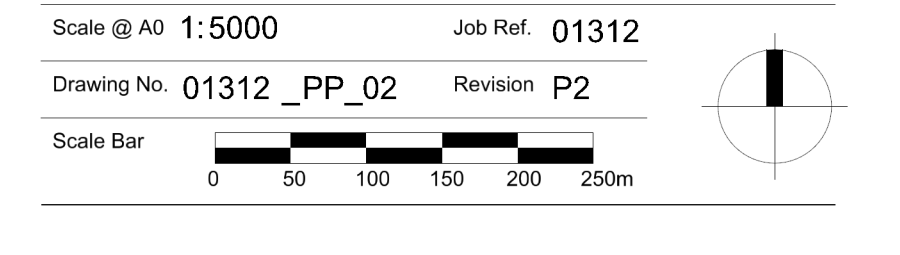
PLANNING

Client
St James



Project
Milton Keynes East

Drawing Title
Movement and Access Parameter Plan





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- Redline boundary
 - ⊠ Application detailed zone. Information on highways and associated works being sought as part of the detailed component in this zone are shown for illustrative purposes only (for proposed detail refer to WSP drawings as scheduled in MKE-Devg-Pig Rev 2)
 - Development area
 - ▨ Primary school and playing fields (F1)
 - ▨ Secondary school and playing fields (F1)
 - ▨ Sports pitches and associated parking
 - ⊙ Zone within which community sports pavilion (F2) is located
 - ⊙ Zone within which community building/visitor centre (F2) is located
 - ▨ Existing woodlands
 - ▨ Open space (including watercourses, drainage features, footpaths/cycleways, vegetation/planted areas, play areas, retained trees and hedgerows, community gardens, and some elements of Primary, Secondary and Tertiary roads)
 - ▨ Open space with retained archaeological mounds or residential (C2/C3) or sports provision (F2), subject to detailed archaeological investigation
 - ▨ River Duct linear park (including watercourse, drainage features, informal open space, wildlife habitat, wetland areas, meadow land, wet woodlands, vegetation/orientated areas, play areas, retained trees and hedgerows, footpaths/cycleways, and some elements of Primary, Secondary and Tertiary roads)
 - ▨ Pineham nature reserve
 - ⊙ Location of alternative temporary tree nursery
 - ⊙ Existing trees and hedgerows to be retained where possible (subject to detailed plot layout)
 - ⊙ Proposed bat roost location (with +/- 100m limit of deviation)
 - ⊙ Location of social play area with incidental open space (with +/- 25m limit of deviation)
 - ⊙ Location of neighbourhood play area (with +/- 25m limit of deviation)
 - ▨ Burial grounds, remembrance garden or community woodlands
 - ▨ Allotments (including parking)
 - ▨ Community woodlands (including parking and potential allotments)
 - ▨ Location of community orchards
 - Existing watercourses
 - ⊙ Indicative location of surface water attenuation (ponds and basins)
 - ⊙ Existing watercourse (present alignment shown) between points A and B to be diverted providing a minimum 30m wide corridor and structural landscape (aligned course and corridor to be located solely within development parcel)
 - Primary Street corridor (with +/- 30m limit of deviation from centre line along route shown)
 - Road corridor (refer to movement and access parameter plan for detailed information)
 - ▨ Location of strategic landscaping within Grid Road corridors to include woodlands and other planting, and drainage features
 - Public routes (retained and/or diverted routes including bridleways, public footpaths and pedestrian and cycle links) (with +/- 30m limit of deviation from centre line along route shown)
 - New public routes (arrows denote key access points) (including bridleways, public footpaths and pedestrian and cycle links) (with +/- 50m limit of deviation from centre line along route shown)
 - Route of proposed Redways (with +/- 30m limit of deviation from centre line along route shown)
 - Location of landscape noise mitigation feature (required if residential use comes forward in this location)
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Note: All features and areas are subject to a lateral tolerance of +/- 10m unless stated otherwise.
Note: Access arrangements into the site will need to accord with the approved detailed drawings.
Note: The location of existing hedgerows and trees are subject to the latest survey information available, further, more detailed survey information may be required.

P2	10.09.21	updated following changes to highways	LB	GP
P1	31.03.21	first issue	LB	GP
Rev	Date	Description	Drawn	Chkd

PLANNING

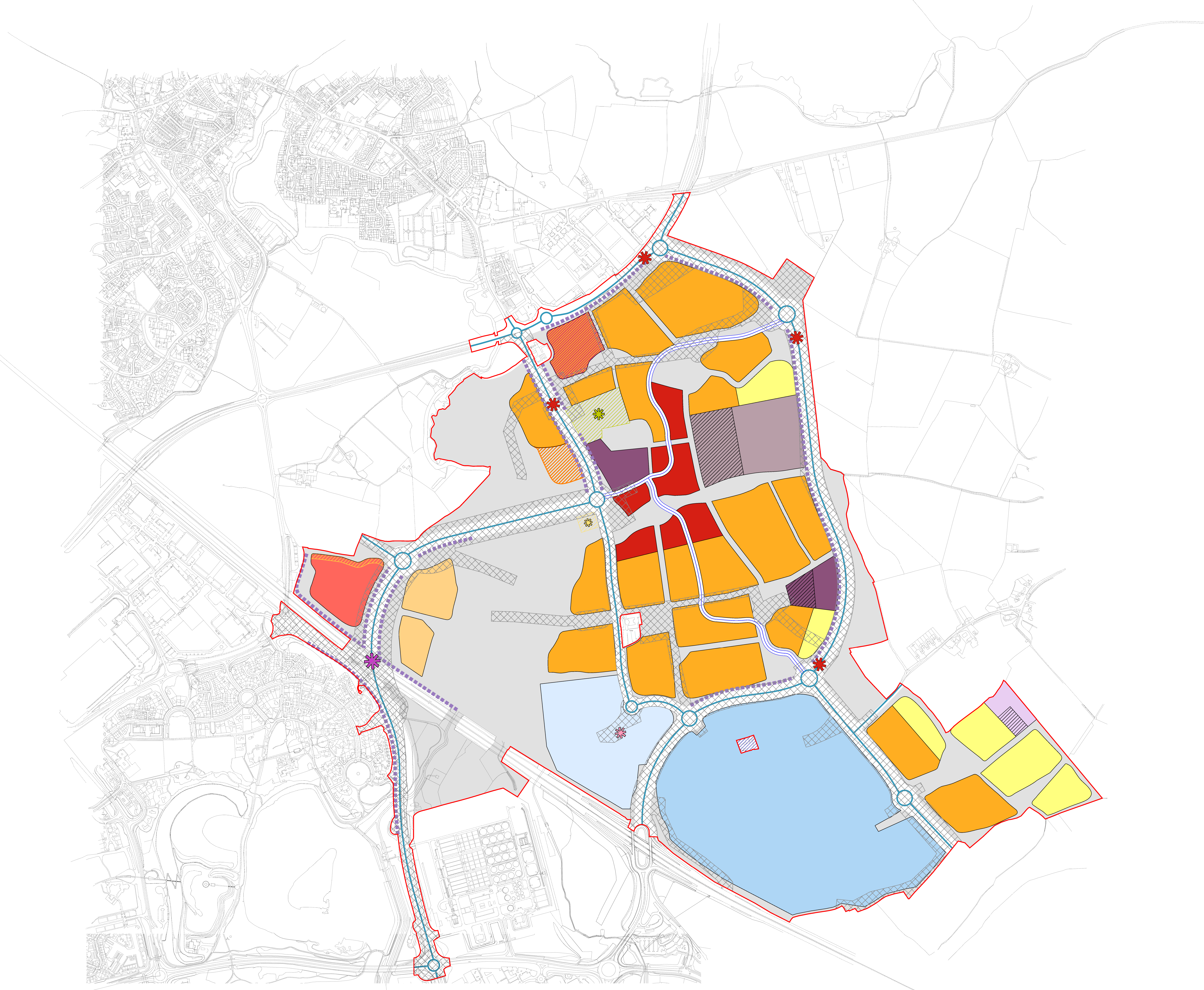
Client
St James



Project
Milton Keynes East

Drawing Title
Green Infrastructure Parameter Plan

Scale @ A0 1:5000 Job Ref. 01312
 Drawing No. 01312_PP_03 Revision P2
 Scale Bar 0 50 100 150 200 250m



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- Key
- Red line boundary
 - Application detailed zone. Information on highways and associated works being sought as part of the detailed component in this zone are shown for illustrative purposes only (for proposed detail refer to WSP drawings as scheduled in MKCE-Devg-Pkg-Rev 2)
 - Up to 6 stories / max. 20m ridge height (from existing ground levels +/- 2m)
 - Up to 4 stories / max. 18m ridge height (from existing ground levels +/- 2m)
 - Up to 2.5 stories / max. 12.5m ridge height (from existing ground levels +/- 2m)
 - Open space with retained archaeology mounds or residential (C2,C3), or sports provision (F2) subject to detailed archaeological investigation
 If residential, up to 4 stories / max. 18m ridge height (from existing ground levels +/- 2m)
 - Zone within which all new habitable room windows are 44m or more from existing habitable room windows at Pynes Stables
 If residential, up to 4 stories / max. 18m ridge height (from existing ground levels +/- 2m)
 If employment (E, B2, B8), up to 13m max ridge height (+100m AOD +/- 2m)
 - If residential, up to 4 stories / max. 18m ridge height (from existing ground levels +/- 2m)
 If employment (E, B2, B8), up to 15m max ridge height (from existing ground levels +/- 2m)
 - If residential, up to 4 stories / max. 18m ridge height (from existing ground levels +/- 2m)
 If employment (E, B2, B8), up to 18m max ridge height (from existing ground levels +/- 2m)
 - Employment (E, B2, B8), up to 25m max ridge height (+100m AOD +/- 2m)
 - Employment (B2, B8), up to 25m max ridge height (+100m AOD +/- 2m)
 - Location of primary school and playing fields (F1) up to 1 storey / max. 6m ridge height (from existing ground levels +/- 2m)
 - Location of primary school and playing fields (F1) up to 2 storey / max. 12m ridge height (from existing ground levels +/- 2m)
 - Location of secondary school and playing fields (F1) up to 3 storey / max. 15m ridge height (from existing ground levels +/- 2m)
 - Zone for school built form (F1)
 - Zone within which community sports pavilion (F2) is located
 Up to 2 storey / max. 12m ridge height (from existing ground levels +/- 2m)
 - Zone within which community building/visitor centre (F2) is located
 Up to 2 storey / max. 12m ridge height (from existing ground levels +/- 2m)
 - Location of existing furniture warehouse outside of site boundary (access retained from internal estate road)
 - Existing pumping station, to be retained or relocated (247 access maintained from estate road)
 - Primary Street corridor (with +/- 30m limit of deviation from centre line along route shown)
 - Road corridor (refer to movement and access parameter plan for detailed information)
 - Location of bridge over M1 (for detailed elements refer to detailed drawings)
 - Location of footcycle bridge (up to 10m above carriageway level) (with +/- 100m limit of horizontal deviation)
 - Location of noise barriers (for detailed elements refer to detailed drawings, where in outline, maximum height 4m AOD subject to detailed acoustic testing, with +/- 30m limit of horizontal deviation from centre line along route shown)

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Note: The heights parameter plan prescribes the maximum heights of buildings across the development site. The heights enable the provision of 1, 2, 2.5, 3, 4, 5 and 6 storey residential buildings and non-residential equivalent buildings and allow for a variation in the eaves, ridge heights and roof forms of buildings. The height excludes chimneys / flues.

Note: The transition between different height parameters within development parcels can be sufficiently flexible to avoid individual buildings having to step from one height to another.

Note: For details of bridge proposals please refer to the detailed highways drawings.

Note: The maximum height of bridges excludes lighting columns or signage.

IP3	10.09.21	updated following changes to highways	LB	GP
P2	20.05.21	updated to include maximum storey heights	LB	GP
P1	31.03.21	first issue	LB	GP
Rev	Date	Description	Drawn	Chkd

PLANNING

Client
St James



Project
Milton Keynes East

Drawing Title
Building Heights Parameter Plan

Scale @ A0	1:5000	Job Ref.	01312
Drawing No.	01312_PP_04	Revision	P3

